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COURTYARD REHABILITATION

LAKE FOREST LIBRARY

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SCOPE OF WORK

SCOPE OF WORK SHALL BE INCLUSIVE OF ALL LABOR, MATERIALS, OVERHEAD, PROFIT, TAXES, INSURANCE NOT PROVIDED BY OWNER, PROJECT MANAGEMENT, FIELD ENGINEERING, SUPERVISION, STORAGE, PROTECTION, HOISTING, PERMITS, DELIVERY, EQUIPMENT, TOOLS, LAYOUT, AND SAFE ACCESS FOR A/E AND CODE AUTHORITY INSPECTION, AS REQUIRED FOR THE FULL PERFORMANCE OF THE WORK LISTED BELOW AND INDICATED IN THE DRAWINGS AND SPECIFICATIONS.

- WHERE INDICATED, PROTECT EXISTING TREES IN PLACE. REMOVE OTHER PLANTINGS AS NECESSARY TO PERFORM THE WORK.
- REMOVE AND SALVAGE THE EXISTING IRON GATES. SANDBLAST, PRIME, AND PAINT AND PREPARE FOR REINSTALLATION.
- REMOVE AND DISCARD THE EXISTING STEEL FENCES.
- DISMANTLE THE EXISTING COURTYARD MASONRY WALLS. SALVAGE INTACT BRICKS AND STONE UNITS. PROTECT THE EXISTING CONCRETE FOUNDATIONS IN PLACE.
- CONSTRUCT NEW REINFORCED CONCRETE MASONRY COURTYARD WALL, CLAD WITH SALVAGED AND NEW BRICK AND LIMESTONE.
- REINSTALL EXISTING IRON GATES WITH NEW HARDWARE.
- REMOVE EXISTING PAIRED WOOD DOORS. FABRICATE AND INSTALL NEW CUSTOM WOOD DOOR WITH NEW HARDWARE.
- REMOVE EXISTING COURTYARD PAVING. REMOVE EXISTING CONCRETE STOOP. RE-GRADE COURTYARD TO NEW LEVEL. INSTALL NEW CONCRETE SLAB AND MORTAR-SET STONE PAVERS. GRADE AND PREPARE THE PLANTING AREAS FOR NEW LANDSCAPING.
- EXCAVATE TO FOOTING. WATERPROOF FOUNDATION WALL OF 1931 BUILDING.
- INSTALL NEW DRAIN TILE, CATCH BASINS, AND SUBSURFACE PIPING. CONNECT DRAIN TILE TO EXISTING SUMP PUMPS. PROVIDE ELECTRIC HEAT TRACE AT EXISTING WEST COURTYARD SUMP PUMP.
- INSTALL NEW AREA DRAINS CONNECTED TO NEW SUBSURFACE PIPING.
- REFURBISH AND REINSTALL TWO EXISTING WALL-MOUNTED LIGHTING FIXTURES. INSTALL NEW EXTERIOR PATHWAY LIGHTING AND NEW RECEPTACLES.
- PERFORM MAINTENANCE REPAIRS AT THE FACADES OF THE 1931 BUILDING WITHIN THE COURTYARD. REPOINT SELECTED MORTAR JOINTS ON A UNIT PRICE BASIS. PREPARE AND REPAINT EXISTING WOOD WINDOWS. REMOVE NON-ORIGINAL WOOD TRIM AT INTERIOR.

ALTERNATE 1: PROVIDE AN ADDITIONAL EXTENT OF THE PAVEMENT ASSEMBLY IN THE EAST COURTYARD. REMOVE TWO TREES, AND RELOCATE SCULPTURE AND DEDICATORY PLAQUE TO A NEW CONCRETE PAD.

ALTERNATE 2: FURNISH AND INSTALL FOUR CAST CONCRETE URNS ATOP THE NEW MASONRY WALLS.

GENERAL NOTES

- DRAWINGS AND ASSOCIATED SPECIFICATIONS APPLY ONLY TO THE COURTYARD REHABILITATION AT LAKE FOREST LIBRARY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT SPECIFIC WRITTEN CONSENT OF WISS, JANNEY, ELSTNER ASSOCIATES, INC., AND LAKE FOREST LIBRARY. ANY UNAUTHORIZED USE OF THIS WORK PRODUCT SHALL BE AT USER'S SOLE RISK AND USER SHALL INDEMNIFY WISS, JANNEY, ELSTNER ASSOCIATES, INC., AND LAKE FOREST LIBRARY AGAINST ANY LIABILITY OR LEGAL EXPOSURE RELATED TO THE UNAUTHORIZED USE.
- THE LAKE FOREST LIBRARY IS A CONTRIBUTING HISTORIC STRUCTURE IN THE EAST LAKE FOREST HISTORIC DISTRICT. ALL WORK ON THE PROPERTY MAY BE REVIEWED BY THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION. ALL WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- MOCKUPS SHALL BE PREPARED FOR EACH REPAIR TYPE. TYPICALLY, THE FIRST INSTALLED WORK OF EACH SCOPE ITEM SHALL BE REVIEWED AS A MOCKUP.
- DRAWINGS AND NOTES ARE COMPLEMENTARY, ARE TO BE TAKEN AS A WHOLE, AND SHOULD INCLUDE SUFFICIENT INFORMATION NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK IN A MANNER CONSISTENT WITH THE DESIGN INTENT. IN THE ABSENCE OF EXPLICIT OR REASONABLY INFERRABLE INFORMATION ON DRAWINGS OR IN NOTES, PROMPTLY SEEK CLARIFICATION FROM A/E AS A REQUEST FOR INFORMATION.
- SPECIFIED PRODUCTS ARE BELIEVED TO HAVE PROPERTIES ADEQUATE FOR THE INTENDED PURPOSE. IF CONTRACTOR HAS PREVIOUSLY FOUND SPECIFIED PRODUCTS TO BE UNACCEPTABLE FOR ANY REASON, CONTRACTOR SHALL PROMPTLY INFORM A/E AS A REQUEST FOR SUBSTITUTION.
- PROMPTLY REPORT TO A/E AS A REQUEST FOR INFORMATION KNOWN OR SUSPECTED ERRORS, INCONSISTENCIES, OR OMISSIONS WITHIN OR BETWEEN DRAWINGS AND NOTES AS WELL AS KNOWN OR SUSPECTED VARIANCE OF DRAWINGS AND NOTES FROM EXISTING CONDITIONS. FOR BIDDING PURPOSES ONLY AND UNLESS OTHERWISE DIRECTED BY A/E, THE MORE STRINGENT REQUIREMENT OR BETTER QUALITY SHALL TAKE PRECEDENCE.
- DIMENSIONS, QUANTITIES, AND GEOMETRIES PROVIDED FOR EXISTING CONSTRUCTION ARE BASED ON AVAILABLE DRAWINGS AND LIMITED FIELD DOCUMENTATION. FIELD VERIFY APPLICABLE INFORMATION PRIOR TO SUBMITTING A BID. ORDERING MATERIALS, OR OTHERWISE COMMITTING RESOURCES TO THE WORK. PROVIDED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- PROVIDE LABOR, MATERIALS, EQUIPMENT, SUPERVISION, AND COORDINATION DIRECTLY AND INCIDENTALLY NECESSARY TO PERFORM THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- ACTIVITIES OR DUTIES OF A/E OR TESTS, INSPECTIONS, OR APPROVALS REQUIRED OR PERFORMED BY THIRD PARTIES SHALL NOT RELIEVE CONTRACTOR OF ITS OBLIGATION TO PERFORM THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- SECURE AND PAY FOR ALL PERMITS, FEES, LICENSES, AND INSPECTIONS BY GOVERNMENT AGENCIES NECESSARY FOR PROPER AND COMPLIANT EXECUTION AND COMPLETION OF THE WORK.
- COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, STATUTES, ORDINANCES, CODES, RULES AND REGULATIONS, AND LAWFUL ORDERS OF AUTHORITIES HAVING JURISDICTION APPLICABLE TO THE WORK.
- SUPPLY OWNER WITH SAFETY DATA SHEETS (SDS) FOR EACH CHEMICAL THAT WILL BE BROUGHT ONTO PROPERTY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR, AND SHALL HAVE SOLE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. AND FOR COORDINATING ALL PORTIONS OF THE WORK. A/E AND OWNER HAVE NO SUCH RESPONSIBILITIES. SPECIFIC INSTRUCTION THAT MAY BE GIVEN IN CONTRACT DOCUMENTS CONCERNING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES SHALL NOT RELIEVE CONTRACTOR OF ITS RESPONSIBILITY FOR CONTROL AND COORDINATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE WORK. A/E AND OWNER HAVE NO SUCH RESPONSIBILITIES BEYOND ITS OWN EMPLOYEES OR CONSULTANTS.
- THE WORK WILL BE PERFORMED AT AN OCCUPIED AND OPERATIONAL BUILDING. COORDINATE CONSTRUCTION ACTIVITIES AND PROCEDURES WITH OWNER TO (A) MAINTAIN UNOBSTRUCTED EXISTING MEANS OF EGRESS FROM BUILDING; (B) COMPLY WITH OWNER'S SECURITY PROCEDURES AND REQUIREMENTS; AND (C) PROVIDE NOT LESS THAN 48 HOURS ADVANCE NOTICE TO AND GAIN APPROVAL FROM OWNER PRIOR TO CONSTRUCTION ACTIVITIES THAT WILL DISRUPT NORMAL USE OF BUILDING (INCLUDING EXCEPTIONAL NOISE AND/OR VIBRATIONS, UNCONTROLLED DUST, OBTRUSIVE ODORS, OR INTERRUPTIONS OF UTILITIES). WORK NOT COORDINATED AND APPROVED IN ADVANCE THAT DISRUPTS THE NORMAL USE OF THE BUILDING MAY BE STOPPED UNTIL PROPER COORDINATION AND APPROVAL IS ACHIEVED. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A CONSEQUENCE OF STOPPAGE.
- SUBMIT PROPOSED DEMOLITION AND CONSTRUCTION SCHEDULES TO OWNER PRIOR TO BEGINNING WORK. PROCEED WITH THE WORK ONLY AFTER A MUTUALLY AGREEABLE SCHEDULE HAS BEEN ESTABLISHED. REGULARLY REVISE SCHEDULE TO REFLECT PROGRESS OF THE WORK.
- MAINTAIN PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATIONS OF WASTE MATERIAL AND RUBBISH RESULTING FROM THE WORK.
- COORDINATE LOCATIONS OF ON-SITE STORAGE OF MATERIALS AND EQUIPMENT WITH OWNER SO AS TO NOT UNREASONABLY ENCUMBER THE SITE. LIMITED ON-SITE STORAGE IS AVAILABLE AT THE SOUTHWEST YARD OF OWNER'S PROPERTY.
- DO NOT ALLOW CONSTRUCTION MATERIALS, EQUIPMENT, OR PROCEDURES TO OVERLOAD OR EXCEED THE STRUCTURAL CAPACITY OF EXISTING CONSTRUCTION TO REMAIN. PARTIALLY COMPLETED WORK, COMPLETED WORK, OR TEMPORARY STAGING OR CANOPIES. MAKE INSPECTIONS AND/OR PERFORM ANALYSES AND TESTS NECESSARY TO VERIFY THAT EXISTING ELEMENTS HAVE ADEQUATE CAPACITY TO SUPPORT PROPOSED CONSTRUCTION LOADS.
- DRAWINGS ILLUSTRATE THE COMPLETED WORK WITH ELEMENTS IN THEIR FINAL INTENDED POSITIONS. PROVIDE SHORING, BRACING, SUPPORT, AND SEQUENCE WORK AS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF NEW OR EXISTING CONSTRUCTION DURING THE WORK.
- TEMPORARILY RELOCATE AND RESTORE EXISTING EQUIPMENT AND APPURTENANCES (WHETHER OR NOT SHOWN ON THE DRAWINGS) THAT OBSTRUCT ACCESS TO PORTIONS OF THE WORK.
- DEVELOP, IMPLEMENT, ERECT, AND MAINTAIN SAFEGUARDS TO PREVENT DAMAGE, INJURY, OR LOSS RESULTING FROM THE WORK TO (A) WORKERS, OCCUPANTS, PASSERS-BY, AND OTHER PERSONS; (B) VEHICULAR TRAFFIC; (C) IN-PROGRESS WORK. MATERIALS, AND EQUIPMENT UNDER CARE, CUSTODY, AND CONTROL OF THE CONTRACTOR (WHETHER ON OR OFF SITE); AND (D) OTHER PROPERTY AT THE SITE OR ADJACENT THERETO NOT DESIGNATED AS PART OF THE WORK FOR REMOVAL, RELOCATION, OR REPLACEMENT. IN THE EVENT OF DAMAGE, INJURY, OR LOSS, PROMPTLY NOTIFY A/E AND PRESENT PROPOSED REMEDY.
- DEVELOP, IMPLEMENT, ERECT, AND MAINTAIN SAFEGUARDS TO PROVIDE FOR WATERTIGHT INTEGRITY OF WORK IN PROGRESS. IN THE EVENT OF DAMAGE, INJURY, OR LOSS, PROMPTLY NOTIFY A/E AND PRESENT PROPOSED REMEDY.
- IN AN EMERGENCY AFFECTING SAFETY OF PERSONS OR PROPERTY, ACT TO PREVENT OR STOP FURTHER DAMAGE, INJURY, OR LOSS.
- ALL WORK SHALL BE SUBJECT TO REVIEW BY A/E BEFORE IT IS CONCEALED BY OTHER WORK AND/OR MEANS OF ACCESS IS REMOVED. COORDINATE MANDATORY REVIEWS WITH A/E PRIOR TO START OF CONSTRUCTION. PROVIDE REASONABLE NOTIFICATION TO A/E TO ALLOW FOR SUCH REVIEW AS WORK PROCEEDS.
- PROMPTLY CORRECT WORK REJECTED BY A/E OR FAILING TO CONFORM TO REQUIREMENTS OF THE CONTRACT DOCUMENTS. ASSOCIATED COSTS (INCLUDING ADDITIONAL TESTING OR INSPECTIONS, COST OF UNCOVERING AND CORRECTION, AND COMPENSATION FOR PROFESSIONAL SERVICES AND EXPENSES MADE NECESSARY THEREBY) SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- IF A HAZARDOUS MATERIAL OR SUBSTANCE NOT ADDRESSED IN THE CONTRACT DOCUMENTS IS ENCOUNTERED, IMMEDIATELY STOP WORK IN AFFECTED AREA AND NOTIFY OWNER OF THE CONDITION.

DRAWING INDEX

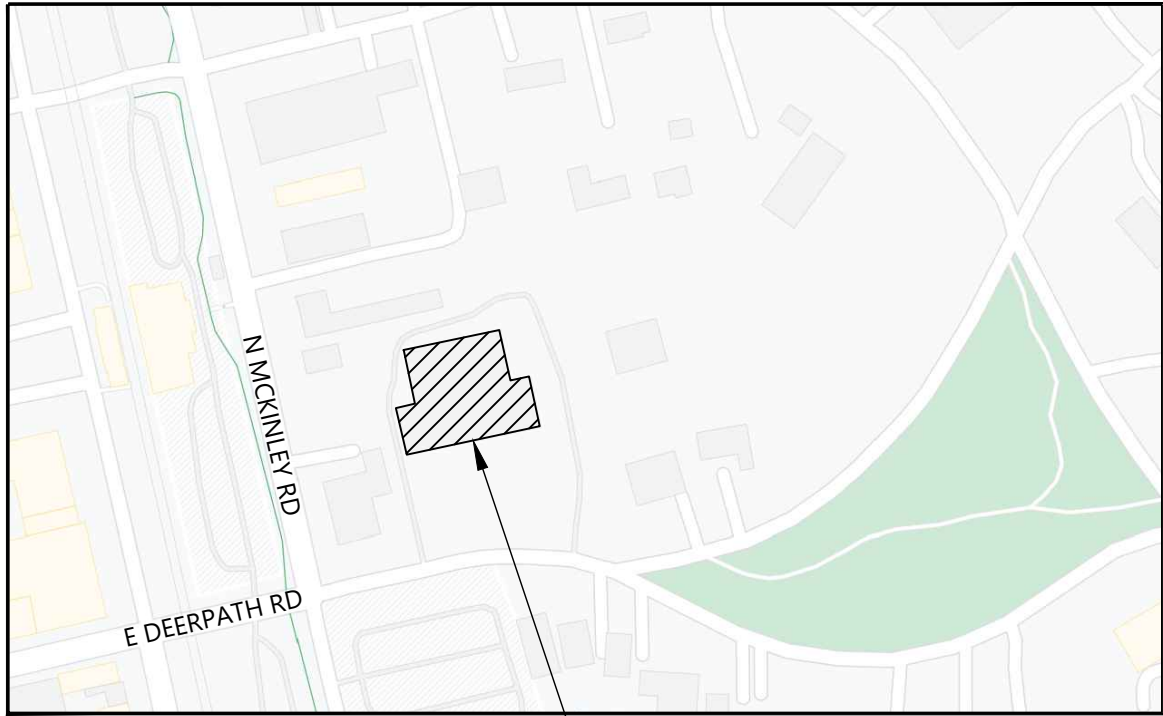
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AD100	DEMOLITION PLAN
A001	LOWER LEVEL FLOOR PLAN
A002	MAIN LEVEL FLOOR PLAN
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A102	WEST COURTYARD PAVEMENT PLAN - REVISED, JUNE 6, 2025
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E600	ELECTRICAL DETAILS

ABBREVIATIONS

A/E	ARCHITECT/ENGINEER
E.F.	EACH FACE
MAX.	MAXIMUM
MIN.	MINIMUM
O.C.	ON CENTER
OPP. HAND	OPPOSITE HAND
S.S.	STAINLESS STEEL
SIM.	SIMILAR
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD

SYMBOL LEGEND:

	DETAIL / VIEW CALLOUT		- PLAN / DETAIL NAME LABEL
	GRAPHICAL PLAN SCALE		- SECTION CALLOUT



LOCATION MAP:
N.T.S.

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Project

**Lake Forest Library
Courtyard
Rehabilitation**

360 East Deerpath Road
Lake Forest, IL 60045

Client

Lake Forest Library

360 East Deerpath Road
Lake Forest, IL 60045

1	June 6, 2025	Addendum 1
Mark	Date	Description
THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)		

Project No. 2024.3861.0

Date May 27, 2025

Drawn ICH / JFC / JH

Checked KMI / MKH

Scale As Shown

Cover Page

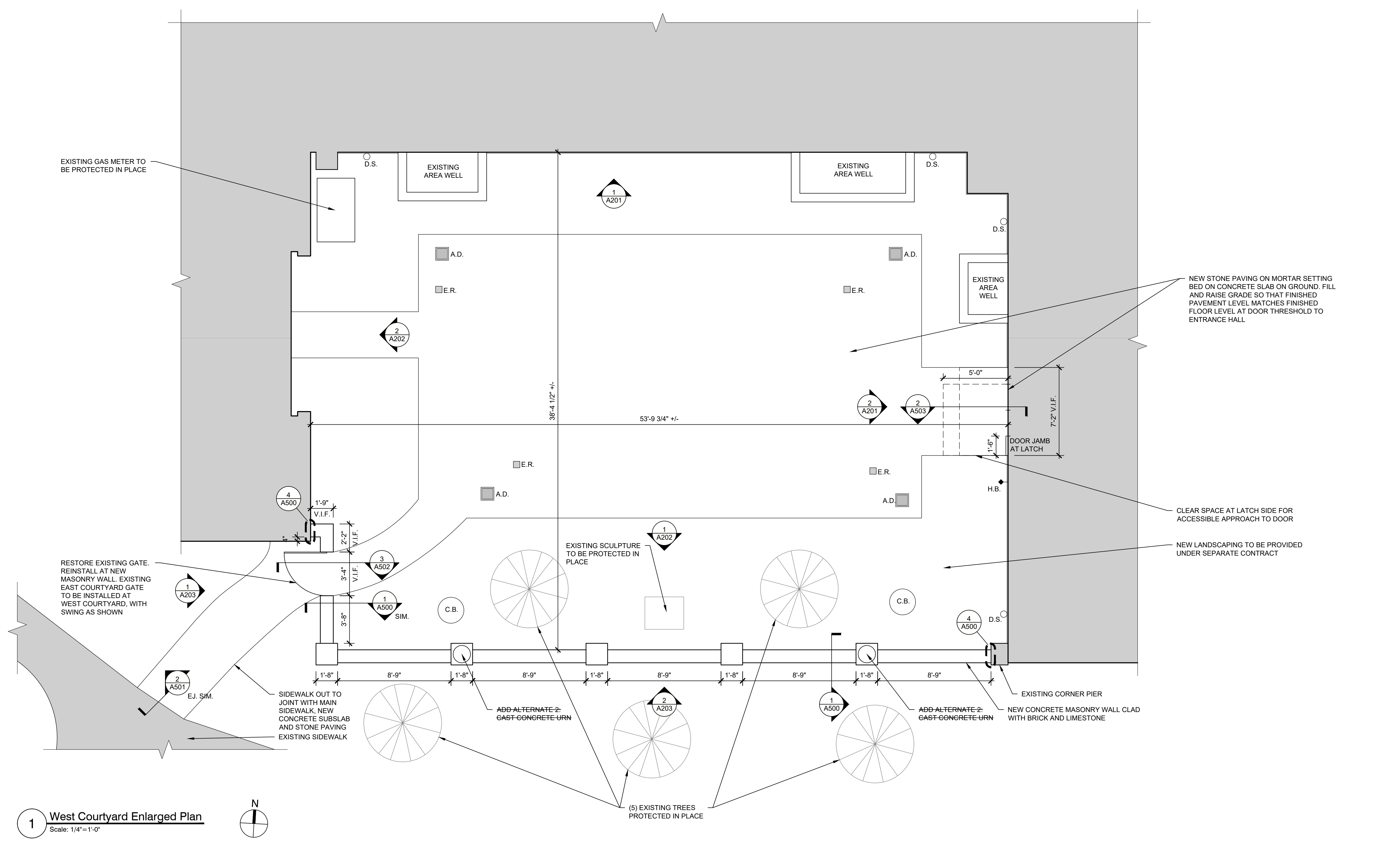
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1 West Courtyard Enlarged Plan
Scale: 1/4"=1'-0"

LEGEND			
D.S.	EXISTING DOWNSPOUT CONNECTED TO NEW SUBGRADE PIPING. SEE PLUMBING SHEETS		
H.B.	EXISTING HOSE BIB		
A.D.	NEW CAST BRONZE AREA DRAIN CONNECTED TO UNDERGROUND PIPING. SEE DETAIL 6/A501		
C.B.	NEW CATCH BASIN. SEE PLUMBING SHEETS		
E.R.	NEW ELECTRICAL RECEPTACLE. SEE DETAIL 5/A501		

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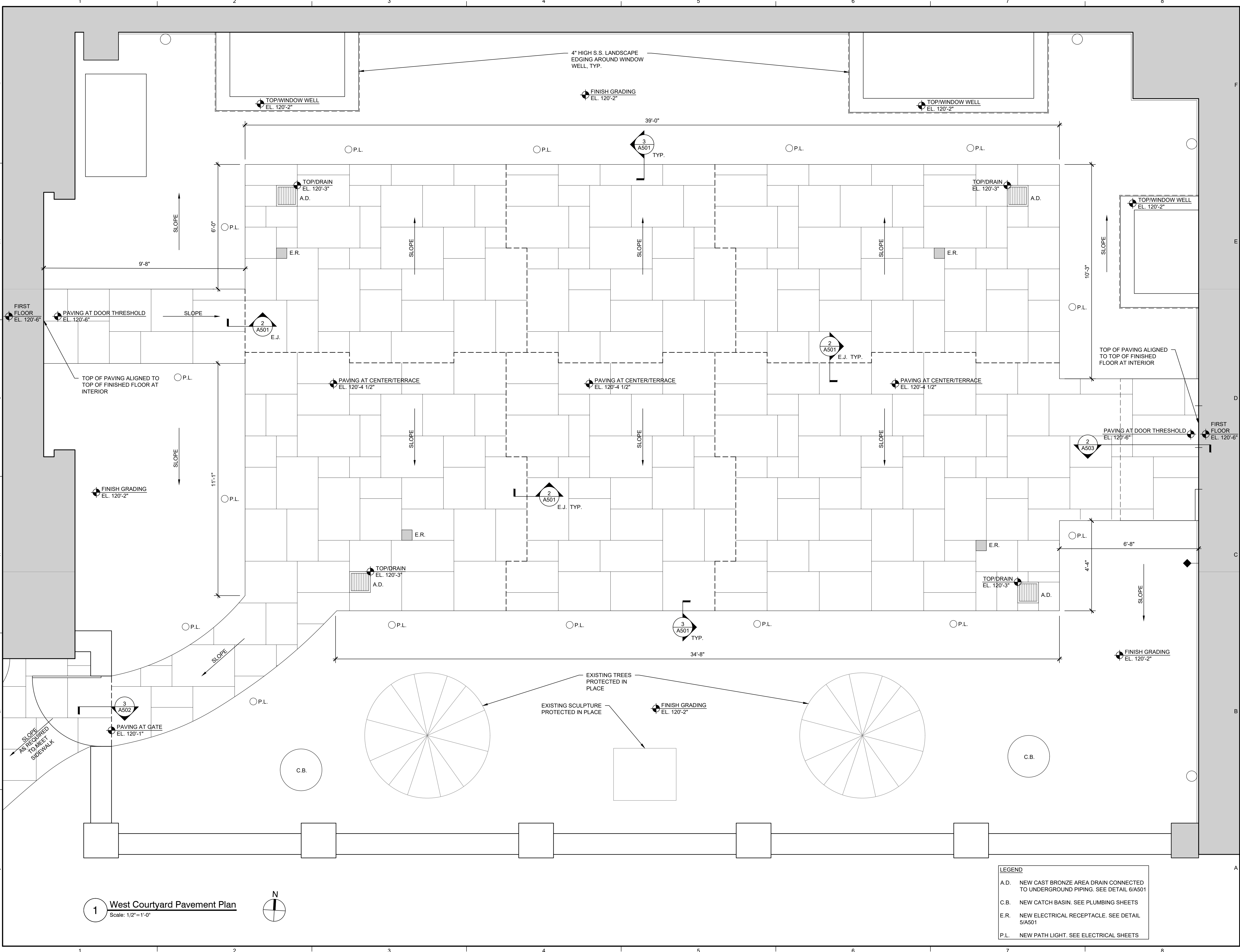
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Project No.	2024.3861.0			
Date	May 27, 2025			
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Checked	KMI / MKH			
Scale	As Shown			
West Courtyard Enlarged Plan				
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1 West Courtyard Pavement Plan
Scale: 1/2" = 1'-0"

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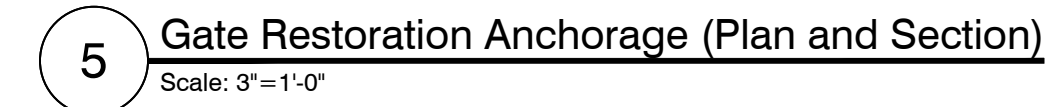
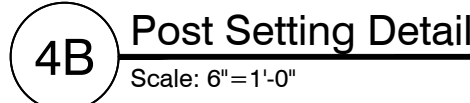
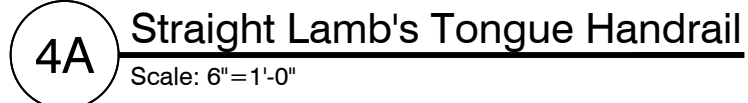
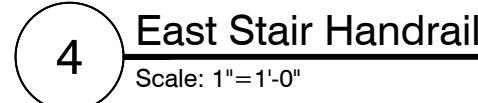
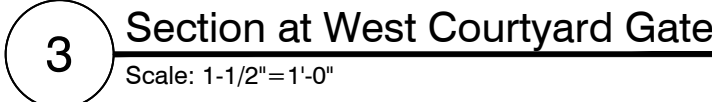
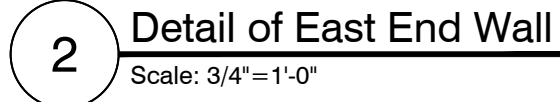
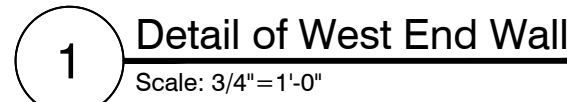
**West Courtyard
Pavement Plan**

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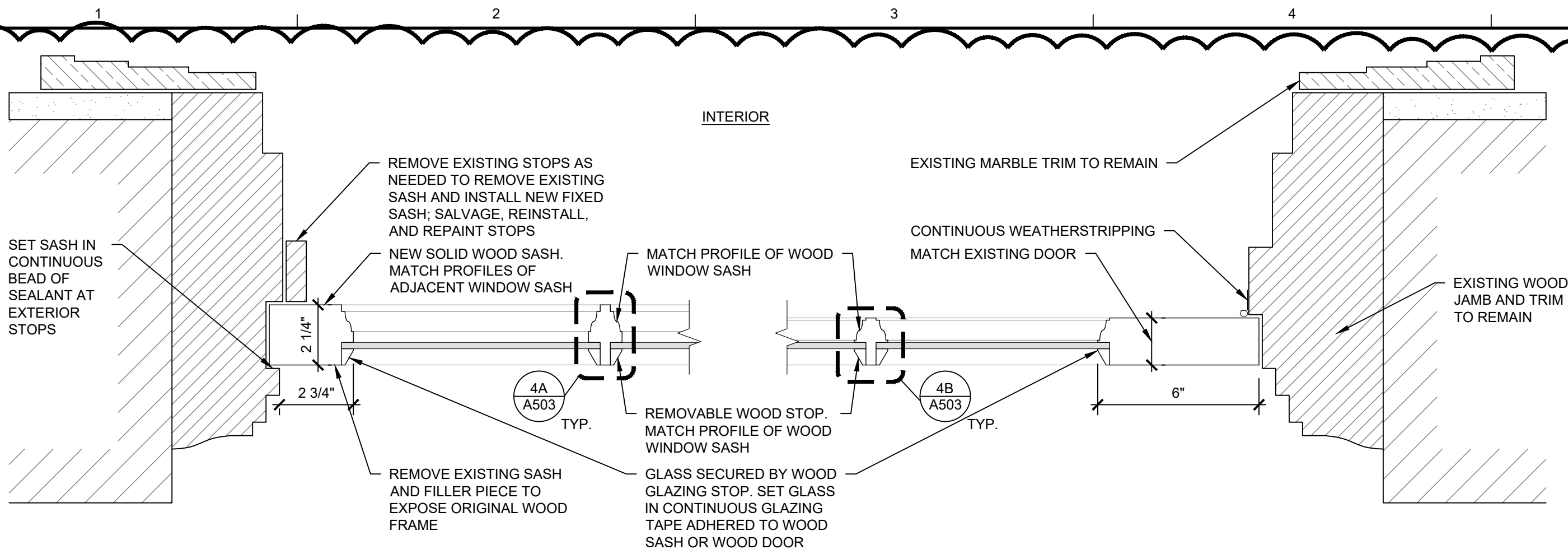
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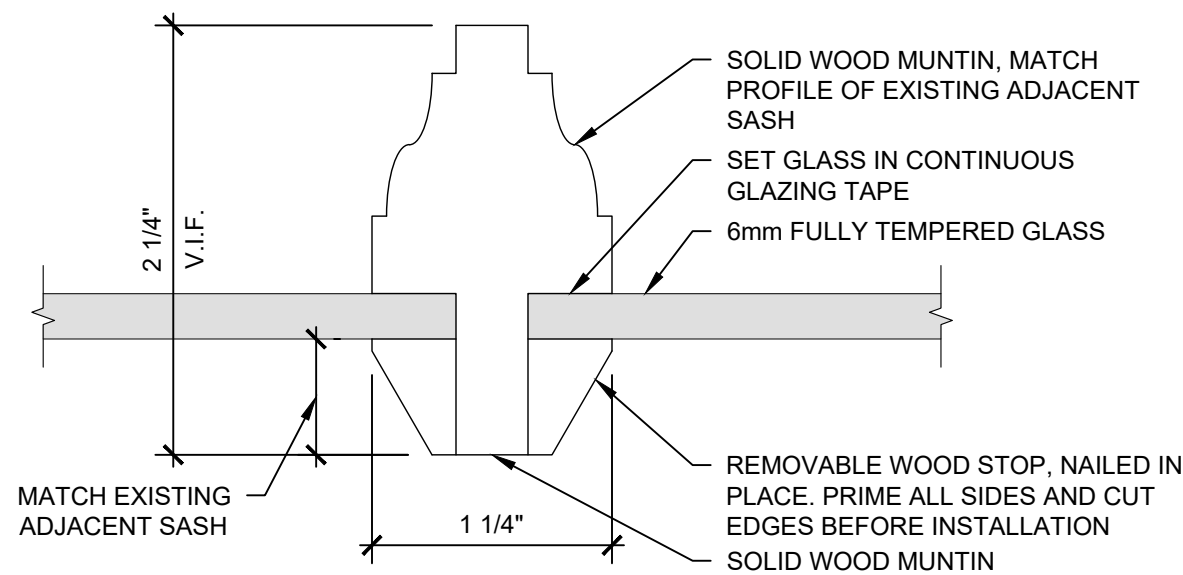


1A Transom Plan Detail

Scale: 3"=1'-0"

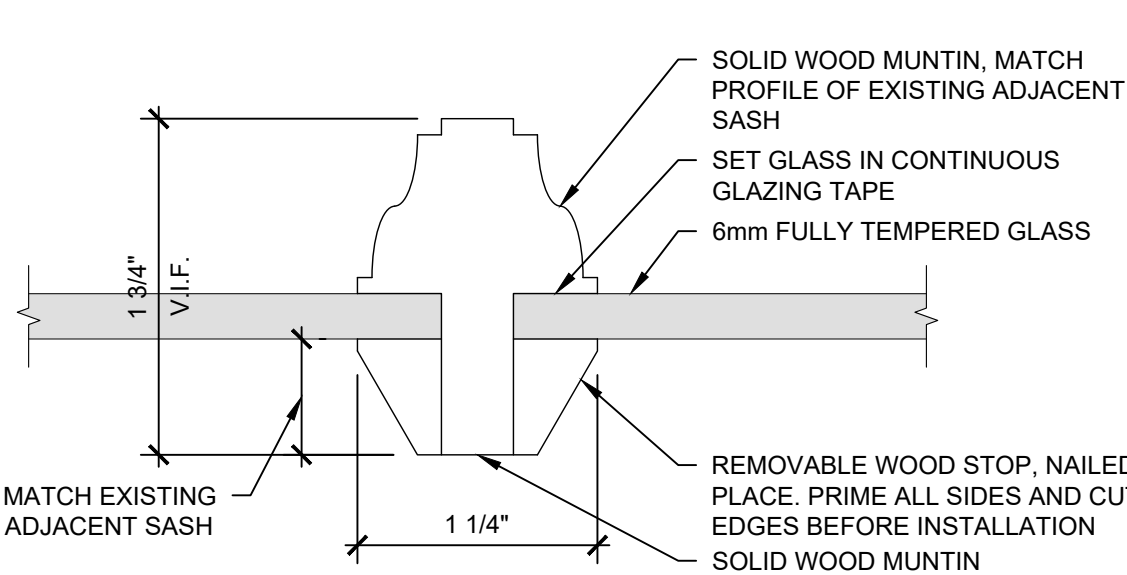
1B Door Plan Detail

Scale: 3"=1'-0"



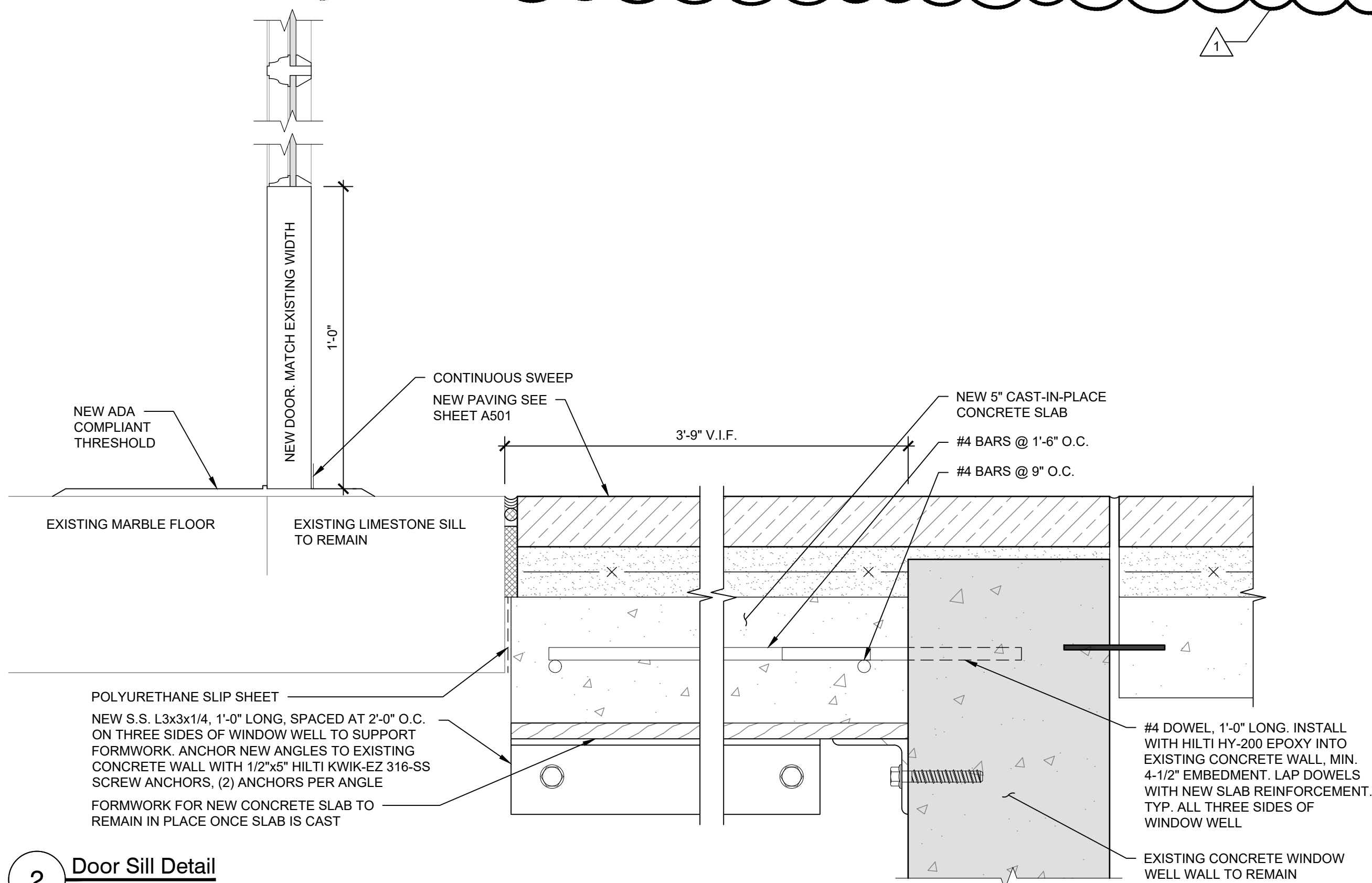
4A Transom Muntin/Glazing Stop Detail

Scale: 1'-0"=1'-0"



4B Door Muntin/Glazing Stop Detail

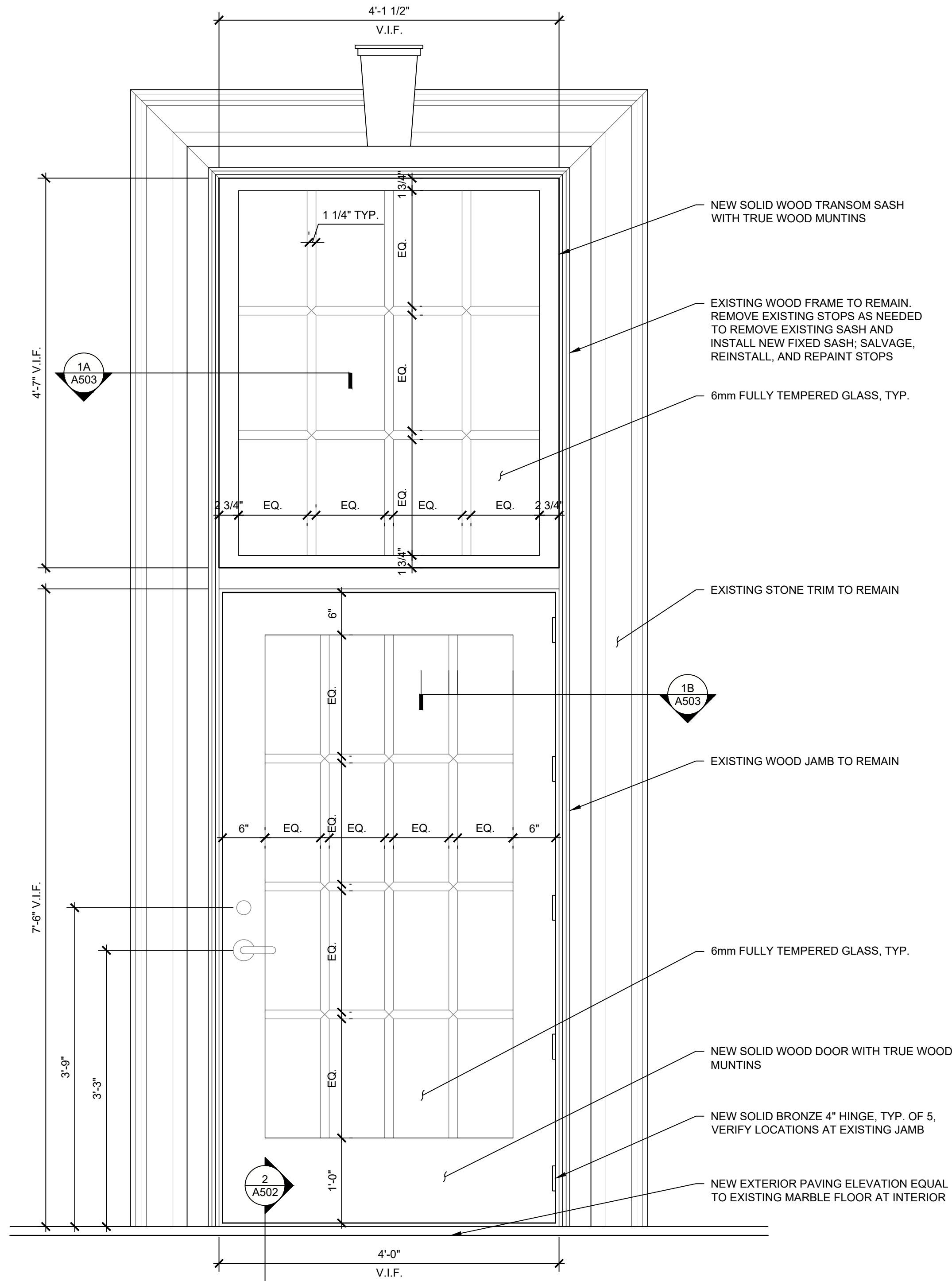
Scale: 1'-0"=1'-0"



2 Door Sill Detail

Scale: 3"=1'-0"

DOOR HARDWARE	QTY.	MAUNFACTURER	MODEL	MATERIAL / FINISH	OPTIONS / NOTES
THRESHOLD	1	ZERO	65	BRONZE, OIL-RUBBED AGED	EMBED IN SEALANT AGAINST EXTERIOR SILL AND INTERIOR FLOOR FINISH
KICKPLATE	1			POLISHED BRASS	ON INTERIOR FACE
HINGE	5	IVES	5BB1HW	DULL BRASS	5 KNUCKLE, NONREMOVABLE PIN, 5"x4-1/2"
PANIC HARDWARE	1	VON DUPRIN	MORTISE LOCK EXIT DEVICE 5575	DULL BRASS	PUSH BAR
PULL	1	VON DUPRIN	ASTI LEVER	POLISHED BRASS	
LOCKSET	1	CORBIN RUSSWIN		POLISHED BRASS	KEYED CYLINDER ON BOTH FACES. BOTH DOORS WITH SAME KEY
LOCK STRIKEPLATE	1	CORBIN RUSSWIN		POLISHED BRASS	
CLOSER	1	CLN	4040XP SERIES	SATIN BRASS	
SWEEP	4.2 LIN. FT.	ZERO	MODEL 339 OR EQUAL	BRONZE, OIL-RUBBED AGED	
WEATHERSTRIPPING	20 LIN. FT.	ZERO	MODEL 326 OR EQUAL	BRONZE, OIL-RUBBED AGED	CONTINUOUS, MITER CORNER WHERE JAMB MEETS END



3 Door Elevation

Scale: 1"=1'-0"

EXTERIOR VIEW AT WEST COURTYARD SHOWN
EAST COURTYARD OPP. HAND
VERIFY EXISTING DIMENSIONS IN FIELD

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Consultants

**Grumman | Butkus
Associates**

820 Davis Street, Suite 300
Evanston, Illinois 60201 4446
(847) 328-3555 grummanbutkus.com

Project

**Lake Forest Library
Courtyard
Rehabilitation**

Client

Lake Forest Library

360 East Deerpath Road
Lake Forest, IL 60045

360 East Deerpath Road
Lake Forest, IL 60045

THIS SHEET PLOTS FULL SIZE
AT 24x36 (INCHES)

Project No.

2024.3861.0

Date

May 27, 2025

Drawn

ICH / JFC / JH

Checked

KMI / MKH

Scale

As Shown

Sheet Title

Door Details

Sheet No.

A503